

TEACHER HOUSING AUTHORITY
PROPOSED HOUSING DEVELOPMENT
AT 35E NANDEWAR STREET, NARRABRI - NSW 2390
LOT 14 | SECTION 19 | DP 758755

Notes:

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LOCALITY PLAN
A00
NTS

DRAWINGS SCHEDULE

DWG NO.	SHEET NAME		REVISION	DATE
A00	COVER SHEET & LOCALITY PLAN	C	RE-ISSUED FOR DA APPROVAL	04/05/2021
A01	GENERAL NOTES & BASIX COM.	A	ISSUED FOR DA APPROVAL	04/05/2021
A01'	BASIX COMMITMENTS	A	ISSUED FOR DA APPROVAL	04/05/2021
A02	SITE PLAN	C	RE-ISSUED FOR DA APPROVAL	04/05/2021
A03	FLOOR PLAN - UNIT 1	C	RE-ISSUED FOR DA APPROVAL	04/05/2021
A04	FLOOR PLAN - UNIT 2	C	RE-ISSUED FOR DA APPROVAL	04/05/2021
A05	FLOOR PLAN - UNIT 3	C	RE-ISSUED FOR DA APPROVAL	04/05/2021
A06	UNIT 1 - ELEVATIONS	B	ISSUED FOR DA APPROVAL	28/04/2021
A07	UNITS 2 & 3 - ELEVATIONS	B	ISSUED FOR DA APPROVAL	28/04/2021
A08	SECTION	B	ISSUED FOR DA APPROVAL	28/04/2021
A09	WINDOWS & DOORS SCHEDULE	B	ISSUED FOR DA APPROVAL	28/04/2021
A10	SHADOW DIAGRAMS	A	ISSUED FOR DA APPROVAL	04/05/2021

C	RE-ISSUED FOR DA APPROVAL	VM	04/05/21
B	ISSUED FOR DA APPROVAL	VM	28/04/21
A	ISSUED FOR CLIENT APPROVAL	VM	29/03/21
REV:	DESCRIPTION:	BY:	DATE:
STATUS: NOT FOR CONSTRUCTION			



Public Works
Advisory

Drew Varnum
Executive Director
A division of the Department of Regional NSW

CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000



Teacher
Housing

SITE: 35E Nandewar Street
Narrabri - NSW

TITLE: THA Capital Works
LOCALITY PLAN

SCALE AT A3: NTS	DATE: 04/05/2021	DRAWN: VM	CHECKED: VM
PROJECT NO: 10042001	DRAWING NO: A00	REVISION: C	

GENERAL NOTES (BCA)

WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.

WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA THE AREA TO UNDERSIDE OF BUILDING AND PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK.

FOR BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 5.1 OF AS3700 MASONRY STRUCTURES

ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

SURVEY PLAN MEASUREMENTS IN METERS - ALL OTHER MEASUREMENTS IN MILLIMETERS U.N.O.

FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.

THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

SITE CLASSIFICATION

REFER TO SOIL REPORT PROVIDED BY LICENSED SOIL ENGINEER FOR SITE CLASSIFICATION.

STORMWATER

100mm DIA. CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000MM C/C AND AT EACH CHANGE OF DIRECTION.

THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN

- 300MM UNDER SOIL
- 50MM UNDER PAVED OR CONCRETE AREAS
- 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
- 75MM UNDER REINFORCED CONCRETE DRIVEWAYS

DESIGN GUST WIND SPEED / WIND CLASSIFICATION

BUILDING TIE-DOWNS TO BE PROVIDED IN ACCORDANCE WITH AS1684 FOR AN ASSUMED DESIGN GUST WIND SPEED / WIND CLASSIFICATION TO BE CONFIRMED ON SITE BY RELEVANT BUILDING SURVEYOR AT FIRST INSPECTION. REFER TO AS1684 AND ENGINEERING PLANS FOR CONSTRUCTION REQUIREMENTS.

GENERAL NOTES (BCA)

ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS, THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.

GLAZING INCLUDING SAFETY GLAZING SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH:

- BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3, AND
- BCA PART B1.4 FOR CLASS 2 TO 9 BUILDINGS

WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740: WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.

STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:

- RISERS (R) 190MM MAXIMUM AND 115MM MINIMUM
- GOING (G) 355MM MAXIMUM AND 240MM MINIMUM
- 2R + 1G = 700MM MAXIMUM AND 550MM MINIMUM
- WITH LESS THAN 125MM GAP BETWEEN OPEN TREADS

ALL TREADS, LANDINGS AND THE LIKE TO HAVE NON SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSING.

CONTRACTOR IS RESPONSIBLE FOR FULL COMPLIANCE WITH ALL ADDITIONAL REQUIREMENTS LISTED IN THE 'BUSH FIRE ASSESSMENT REPORT' SUPPLIED BY BARNSON PTY LTD, DATED 12th DECEMBER 2017.

CONSTRUCTION

DESIGN & LEVELS PROVIDED ARE BASED ON SURVEY INFORMATION AVAILABLE FROM GRAHAM F. HOWE SURVEYING (REF.:T18-9). ENSURE THAT ACTUAL SITE FINISHED LEVELS ARE LOGICAL AND COMPLY WITH DRAINAGE INTENT. OBTAIN PROJECT MANAGERS APPROVAL WITH ANY DISCREPANCIES.

ALL WORKS TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARDS, SPECIFICATIONS AND AUSTRALIAN STANDARDS. CONFLICTS SHALL BE REFERRED TO THE PROJECT MANAGER FOR DIRECTION.

THE CONTRACTOR IS TO OBTAIN ALL AUTHORITY APPROVALS AS REQUIRED.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, LOCATION AND LEVELS OF ALL EXISTING SERVICES ON SITE PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL ALLOW FOR ANY PROTECTION TO EXISTING SERVICES AS REQUIRED. ANY SERVICE DAMAGED DURING THE WORKS SHALL BE REINSTATED AT THE CONTRACTORS EXPENSE.

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✔	✔	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✔	✔
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✔	✔
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✔ ✔	✔ ✔
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✔	✔	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✔	
(g) The pool or spa must be located as specified in the table.	✔	✔	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✔	✔	✔

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 7.5 but <= 9 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

Dwelling no.	Alternative water source							
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
1	individual water tank (no. 1)	Tank size (min) 2000.0 litres	To collect run-off from at least: 125.0 square metres of roof area;	yes	yes	yes	no	no
2	individual water tank (no. 1)	Tank size (min) 2000.0 litres	To collect run-off from at least: 120.0 square metres of roof area;	yes	yes	yes	no	no
All other dwellings	individual water tank (no. 1)	Tank size (min) 2000.0 litres	To collect run-off from at least: 65.0 square metres of roof area;	yes	yes	yes	no	no

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✔	✔	✔
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✔	✔


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A	ISSUED FOR DA APPROVAL	VM	04/05/21
REV:	DESCRIPTION:	BY:	DATE:
STATUS: NOT FOR CONSTRUCTION			



Public Works
Advisory

Drew Varnum
Executive Director
A division of the Department of Regional NSW

CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000



SITE:	35E Nandewar Street Narrabri - NSW		
TITLE:	THA Capital Works GENERAL NOTES & BASIX COM.		
SCALE AT A3: NTS	DATE: 04/05/2021	DRAWN: VM	CHECKED: VM
PROJECT NO: 10042001	DRAWING NO: A01	REVISION: A	

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✔	✔
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✔	✔
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✔	✔	✔
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✔ ✔	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✔ ✔ ✔	✔
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✔	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✔	✔	✔

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	electric storage	individual fan, not ducted	manual switch on/off	individual fan, not ducted	manual switch on/off	natural ventilation only, or no laundry	-

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/ toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
1	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	2 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	2	no
2	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	3 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	3	no
All other dwellings	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	no

	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	electric cooktop & electric oven	-	yes	-	-	-	no	yes

	Alternative energy
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
1	2.0
All other dwellings	1.0

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
1	30.1	47.9
2	33.2	38.8
All other dwellings	41.4	79.1

	Construction of floors and walls				
Dwelling no.	Concrete slab on ground(m²)	Suspended floor with open subfloor (m²)	Suspended floor with endclosed subfloor (m²)	Suspended floor above garage (m²)	Primarily rammed earth or mudbrick walls
1	96	-	-	-	No
2	119	-	-	-	No
All other dwellings	-	17	-	40	No

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A	ISSUED FOR DA APPROVAL	VM	30/04/21
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STATUS: NOT FOR CONSTRUCTION			



Drew Varnum
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A division of the Department of Regional NSW

CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000

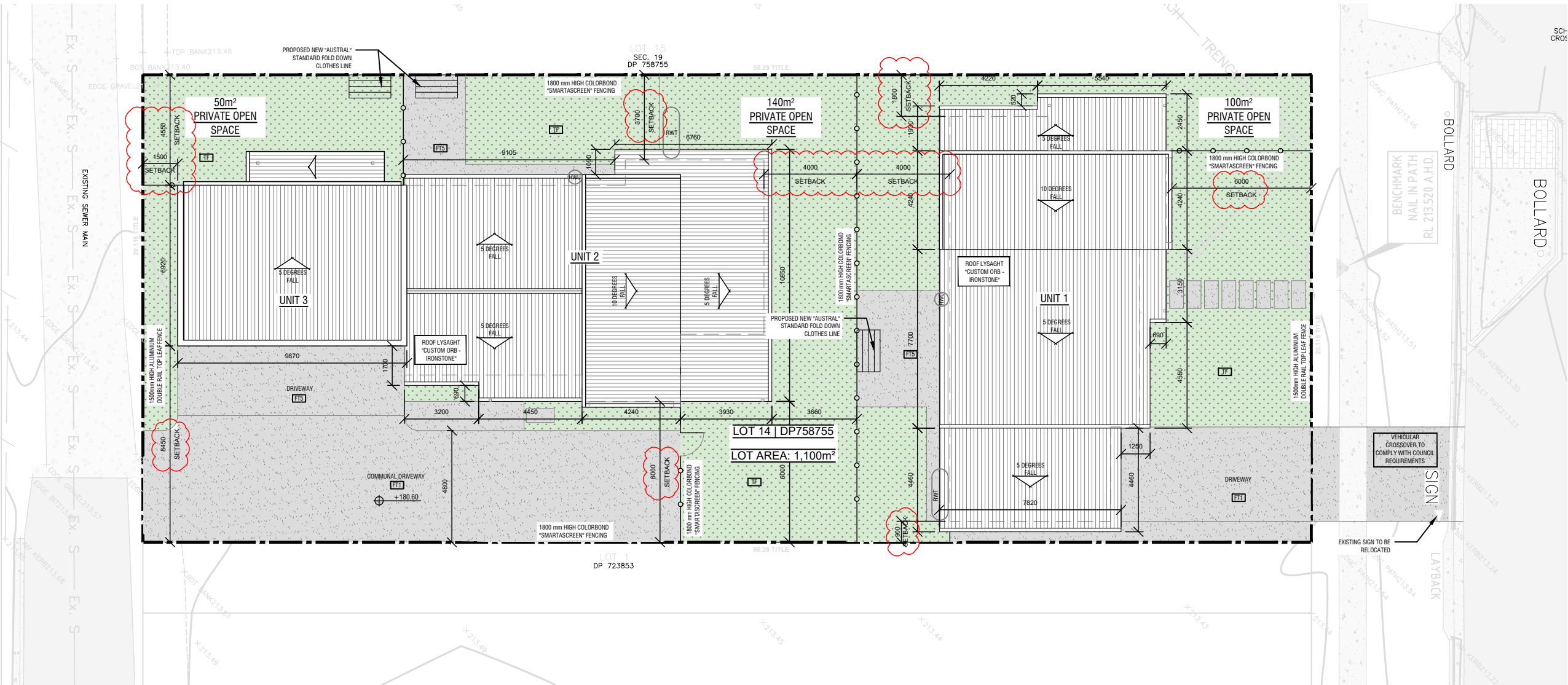


SITE: 35E Nandewar Street
Narrabri - NSW

TITLE: THA Capital Works
BASIX COMMITMENTS

SCALE AT A3: NTS	DATE: 30/04/2021	DRAWN: VM	CHECKED: VM
PROJECT NO: 10042001	DRAWING NO: A01'	REVISION: A	

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A02

SITE PLAN
1:200

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LEGEND

FT1	FLOOR FINISH - CONCRETE SMOOTH FINISH
FT5	FLOOR FINISH - CONCRETE BROOM FINISH
RWT	RAINWATER TANK - 2000 Litre
HWU	HOT WATER UNIT
GVL	"MANGAROO" GRAVEL 20mm
TF	"SIR WALTER" BUFFALO GRASS

C	RE-ISSUED FOR DA APPROVAL	VM	04/05/21
B	ISSUED FOR DA APPROVAL	VM	28/04/21
A	ISSUED FOR CLIENT APPROVAL	VM	29/03/21
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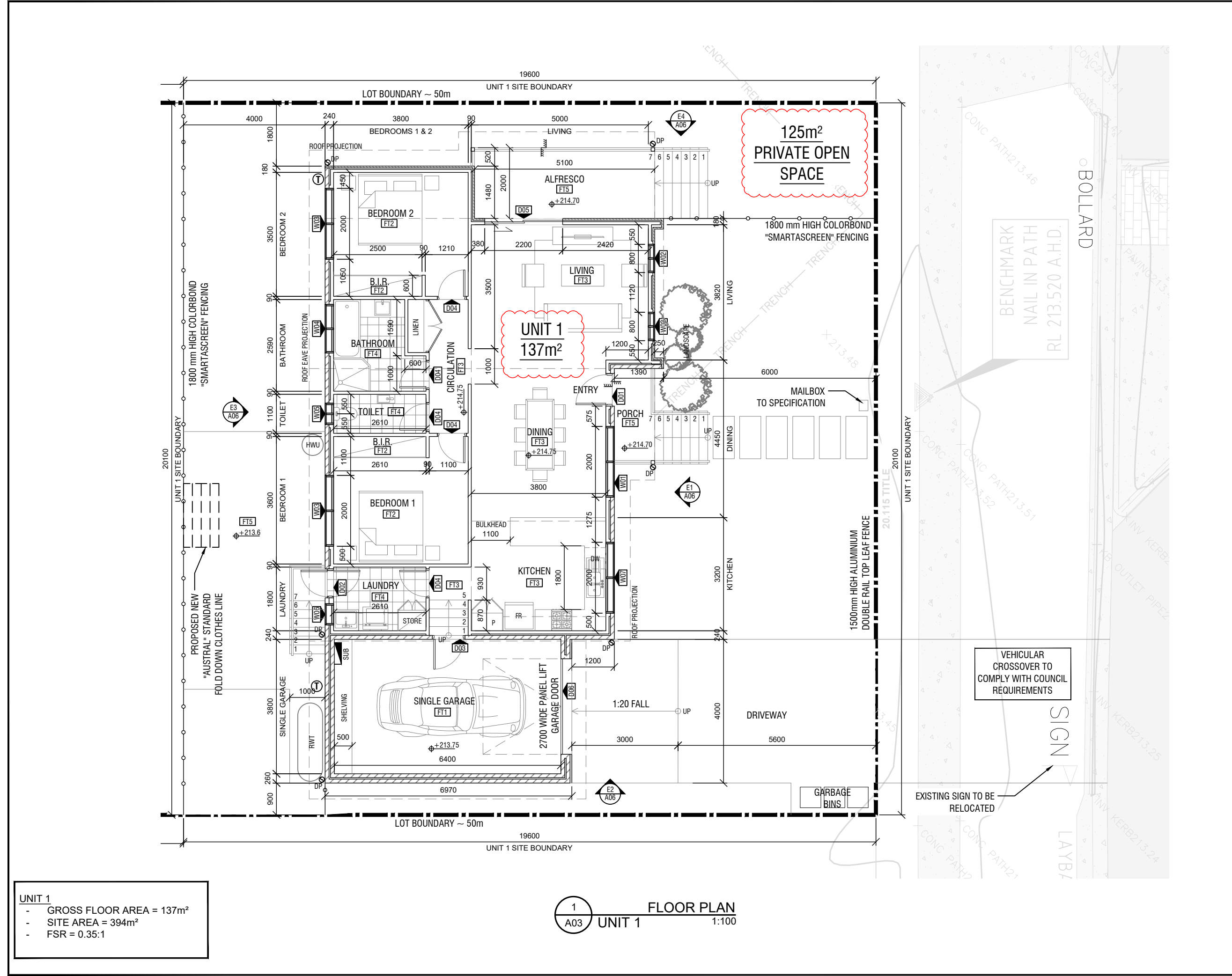
CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000



SITE: 35E Nandewar Street
Narrabri - NSW

TITLE: THA Capital Works
SITE PLAN

SCALE AT A3: 1:200	DATE: 04/05/2021	DRAWN: VM	CHECKED: VM
PROJECT NO: 10042001	DRAWING NO: A02	REVISION: C	



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LEGEND

FFL	FINISHED FLOOR LEVEL
FT1	FLOOR FINISH - CONCRETE SMOOTH FINISH
FT2	FLOOR FINISH - CARPET
FT3	FLOOR FINISH - VINYL
FT4	FLOOR FINISH - TILED
FT5	FLOOR FINISH - CONCRETE BROOM FINISH
W13	WINDOW NUMBER - REFER SCHEDULE
D12	DOOR NUMBER - REFER SCHEDULE
90mm STUD WALL	
SELECTED CUSTOM METAL CLADDING FIXED HORIZONTALLY TO STUD WALL	
SELECTED BRICK WORK WALL	
DP	DOWNPIPE
MH	MANHOLE
RWT	RAINWATER TANK - 2000 Litre
HWU	HOT WATER UNIT
FR	SELECTED FRIDGE
DW	SELECTED DISHWASHER
T	WATER TAP

C	RE-ISSUED FOR DA APPROVAL	VM	04/05/21
B	ISSUED FOR DA APPROVAL	VM	28/04/21
A	ISSUED FOR CLIENT APPROVAL	VM	29/03/21

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STATUS: NOT FOR CONSTRUCTION

NSW Public Works Advisory

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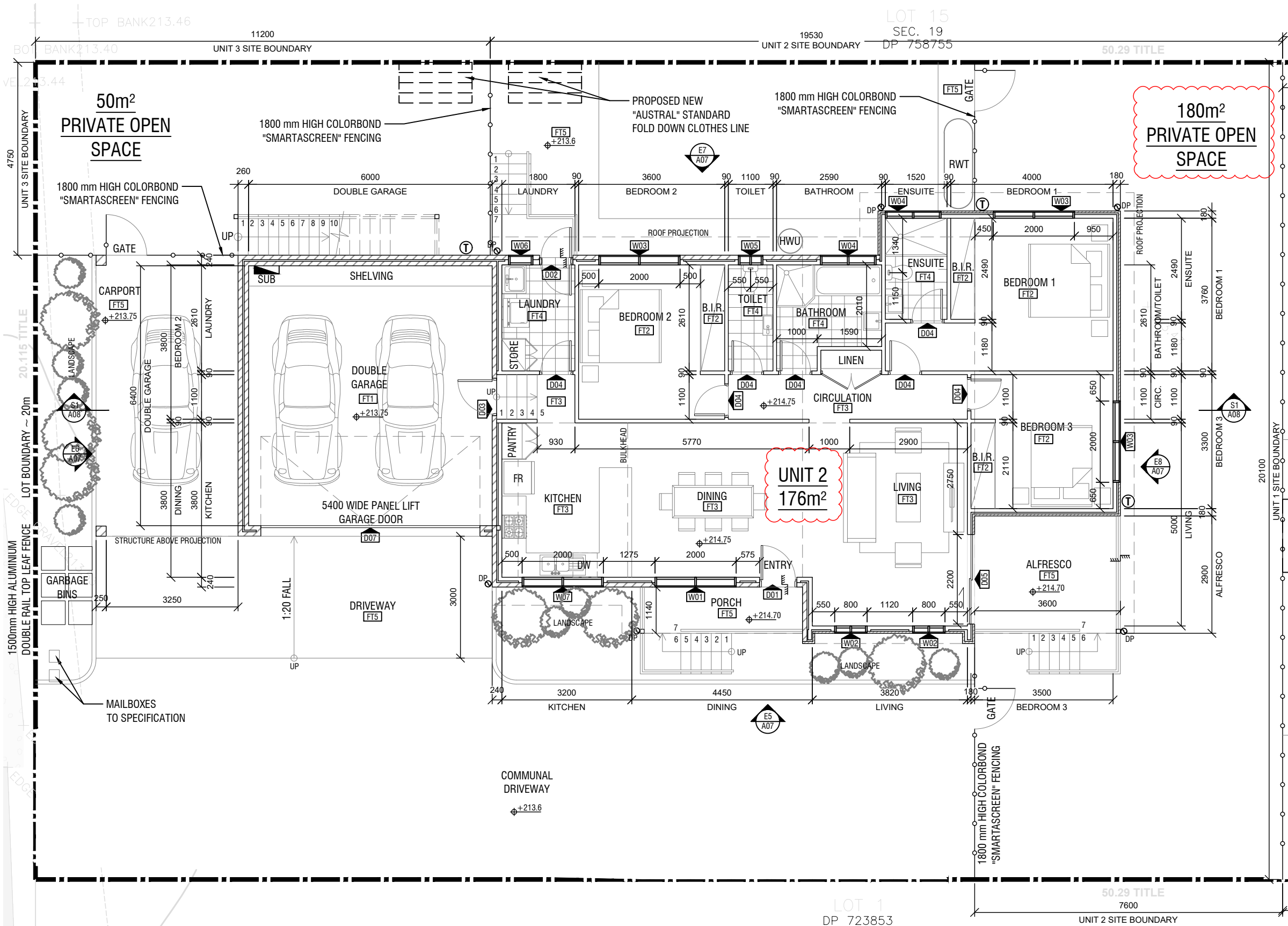
CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000

NSW Teacher Housing

SITE: 35E Nandewar Street
Narrabri- NSW

TITLE: THA Capital Works
FLOOR PLAN - UNIT 1

SCALE AT A3: 1:100	DATE: 04/05/2021	DRAWN: VM	CHECKED: VM
PROJECT NO: 10042001	DRAWING NO: A03	REVISION: C	



UNIT 2	
-	GROSS FLOOR AREA = 176m ²
-	SITE AREA = 400m ²
-	FSR = 0.44:1
UNIT 3	
-	GROSS FLOOR AREA = 71m ²
-	SITE AREA = 174m ²
-	FSR = 0.40:1

FLOOR PLAN
UNIT 2
1:100

Notes:

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LEGEND	
FFL	FINISHED FLOOR LEVEL
FT1	FLOOR FINISH - CONCRETE SMOOTH FINISH
FT2	FLOOR FINISH - CARPET
FT3	FLOOR FINISH - VINYL
FT4	FLOOR FINISH - TILED
FT5	FLOOR FINISH - CONCRETE BROOM FINISH
W13	WINDOW NUMBER - REFER SCHEDULE
D12	DOOR NUMBER - REFER SCHEDULE
90mm STUD WALL	
SELECTED CUSTOM METAL CLADDING FIXED HORIZONTALLY TO STUD WALL	
SELECTED BRICK WORK WALL	
DP	DOWNPIPE
MH	MANHOLE
RWT	RAINWATER TANK - 2000 Litre
HWU	HOT WATER UNIT
FR	SELECTED FRIDGE
DW	SELECTED DISHWASHER
T	WATER TAP

C	RE-ISSUED FOR DA APPROVAL	VM	04/05/21
B	ISSUED FOR DA APPROVAL	VM	28/04/21
A	ISSUED FOR CLIENT APPROVAL	VM	29/03/21
REV:	DESCRIPTION:	BY:	DATE:
STATUS: NOT FOR CONSTRUCTION			



Public Works
Advisory

Drew Varnum
Executive Director
A division of the Department of Regional NSW

CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000



Teacher
Housing

SITE: 35E Nandewar Street
Narrabri- NSW

TITLE: THA Capital Works
FLOOR PLAN - UNIT 2

SCALE AT A3: 1:100	DATE: 04/05/2021	DRAWN: VM	CHECKED: VM
PROJECT NO: 10042001	DRAWING NO: A04	REVISION: C	

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LEGEND

FFL	FINISHED FLOOR LEVEL
FT1	FLOOR FINISH - CONCRETE SMOOTH FINISH
FT2	FLOOR FINISH - CARPET
FT3	FLOOR FINISH - VINYL
FT4	FLOOR FINISH - TILED
FT5	FLOOR FINISH - CONCRETE BROOM FINISH
W13	WINDOW NUMBER - REFER SCHEDULE
D12	DOOR NUMBER - REFER SCHEDULE
90mm STUD WALL	
SELECTED CUSTOM METAL CLADDING FIXED HORIZONTALLY TO STUD WALL	
SELECTED BRICK WORK WALL	
DP	DOWNPIPE
MH	MANHOLE
RWT	RAINWATER TANK - 2000 Litre
HWU	HOT WATER UNIT
FR	SELECTED FRIDGE
DW	SELECTED DISHWASHER

C	RE-ISSUED FOR DA APPROVAL	VM	04/05/21
B	ISSUED FOR DA APPROVAL	VM	28/04/21
A	ISSUED FOR CLIENT APPROVAL	VM	29/03/21
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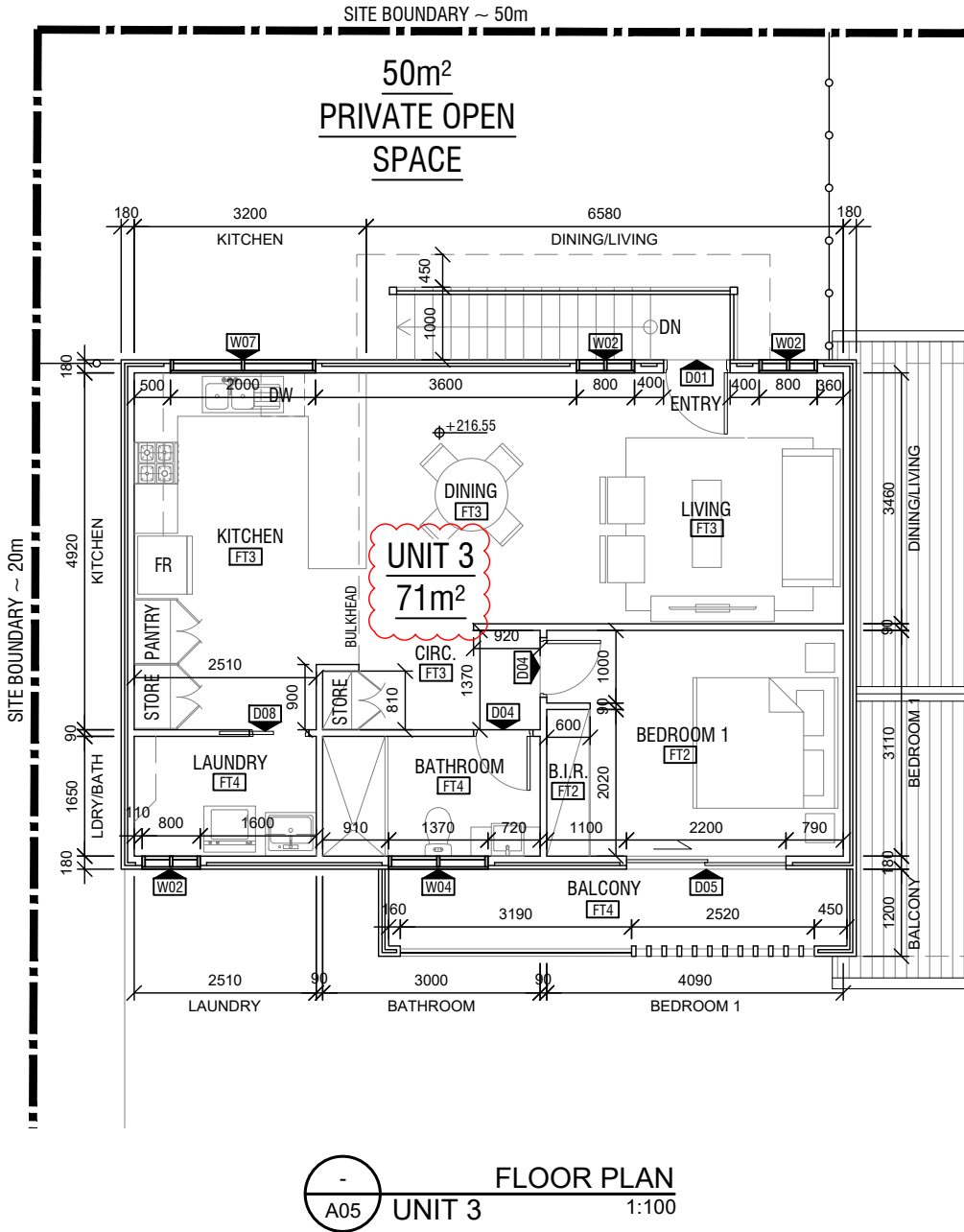
Drew Varnum
Executive Director
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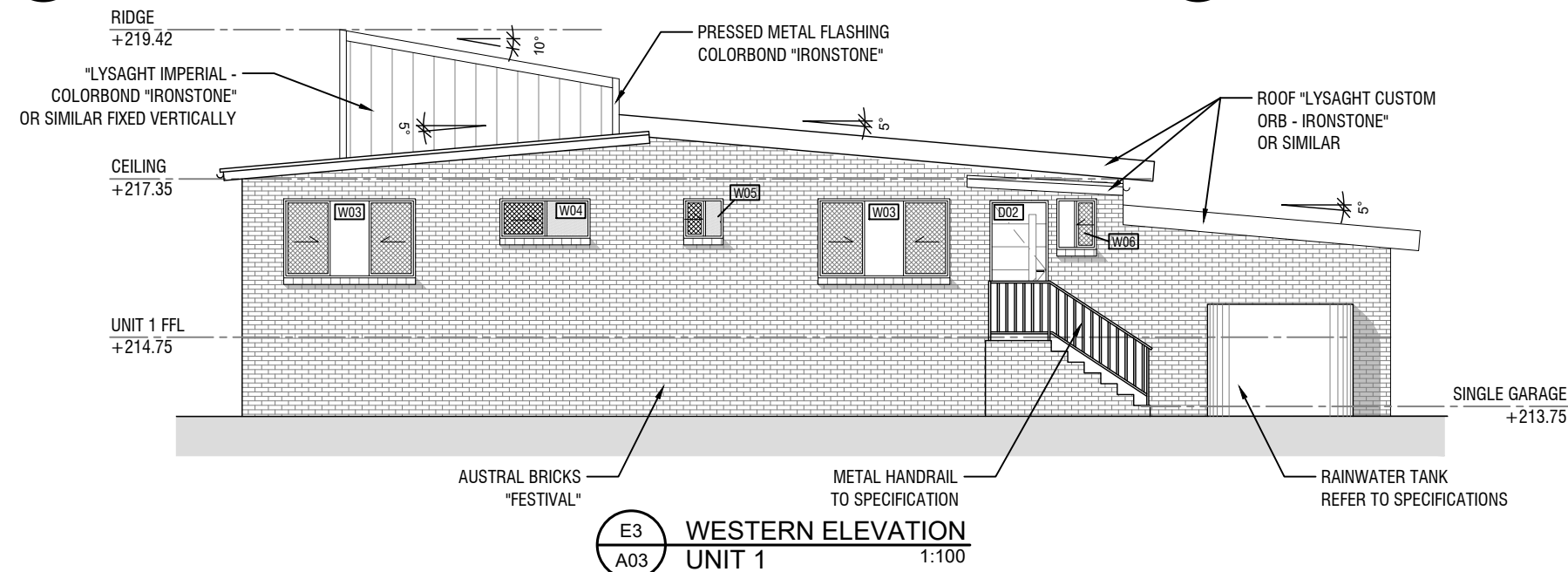
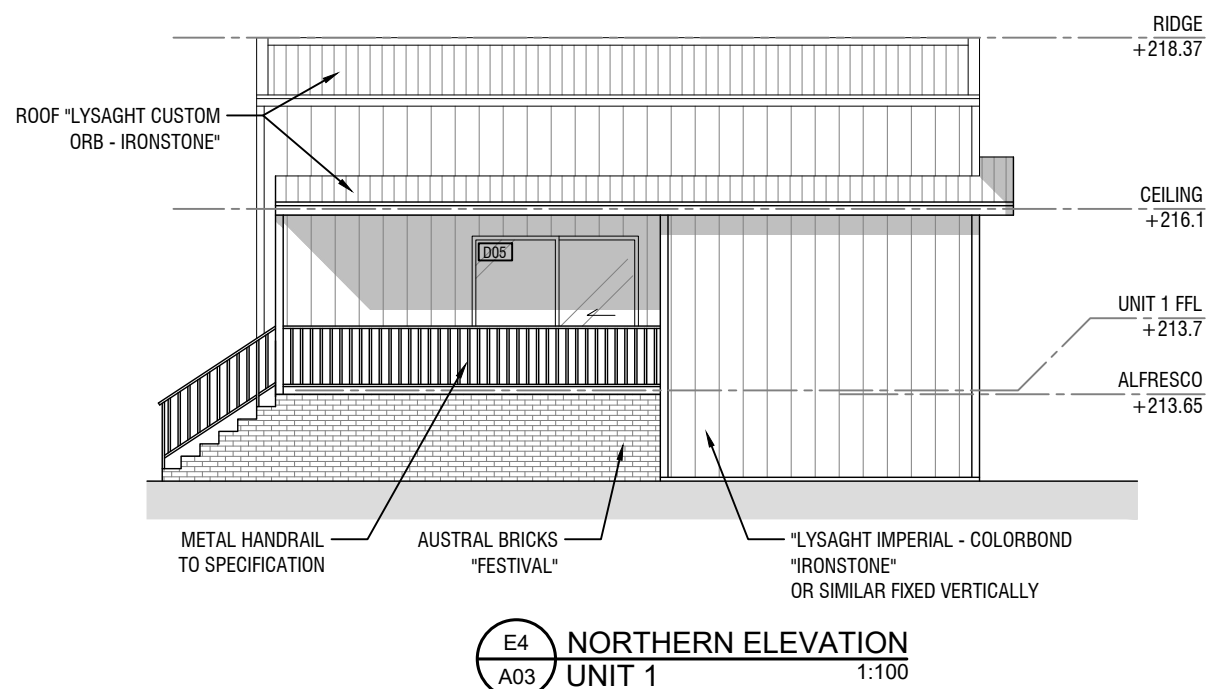
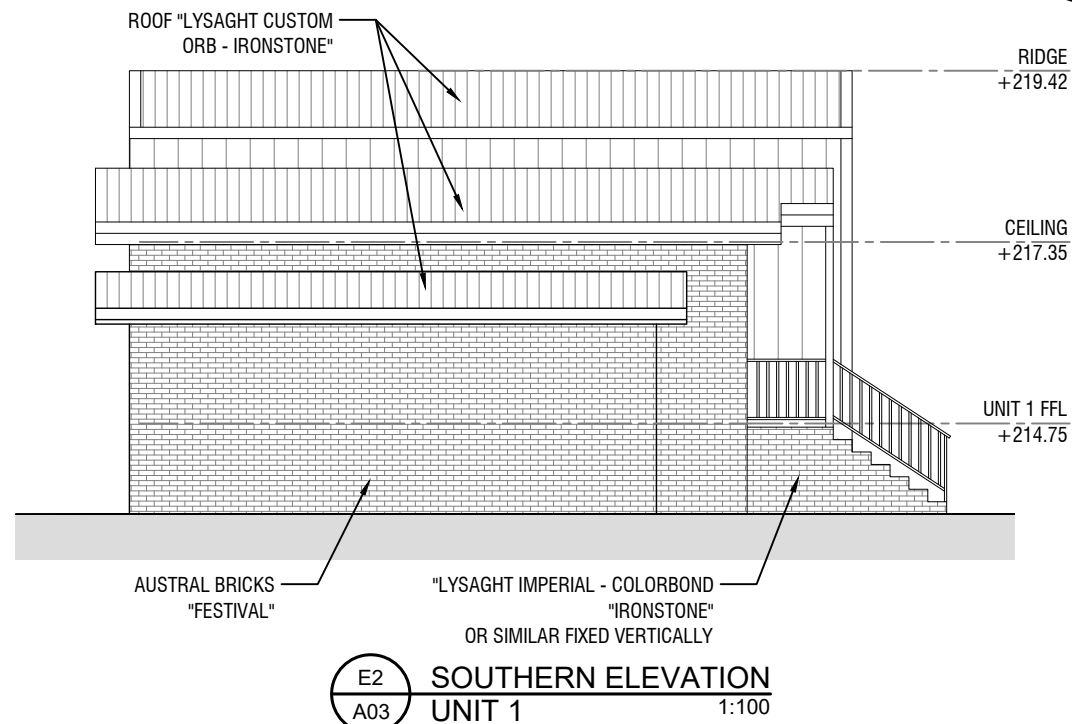
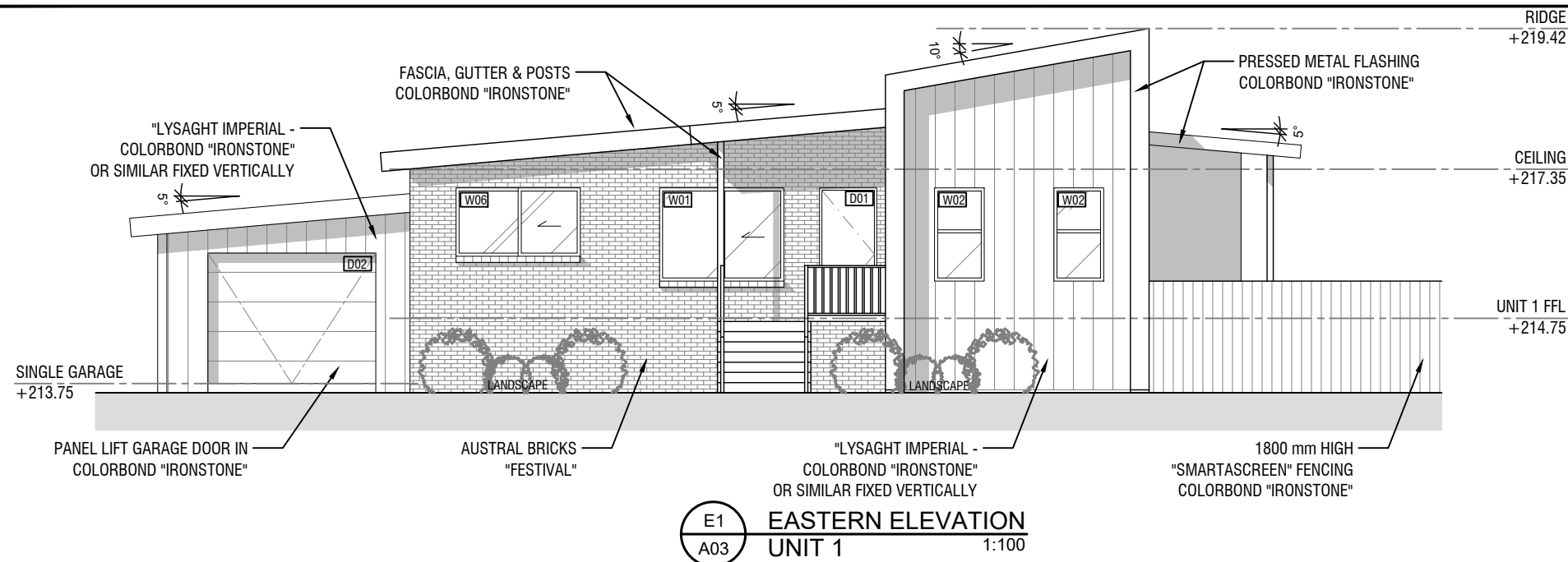
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Teacher
Housing

SITE: 35E Nandewar Street Narrabri- NSW			
TITLE: THA Capital Works FLOOR PLAN - UNIT 3			
SCALE AT A3: 1:100	DATE: 04/05/2021	DRAWN: VM	CHECKED: VM
PROJECT NO: 10042001	DRAWING NO: A05	REVISION: C	





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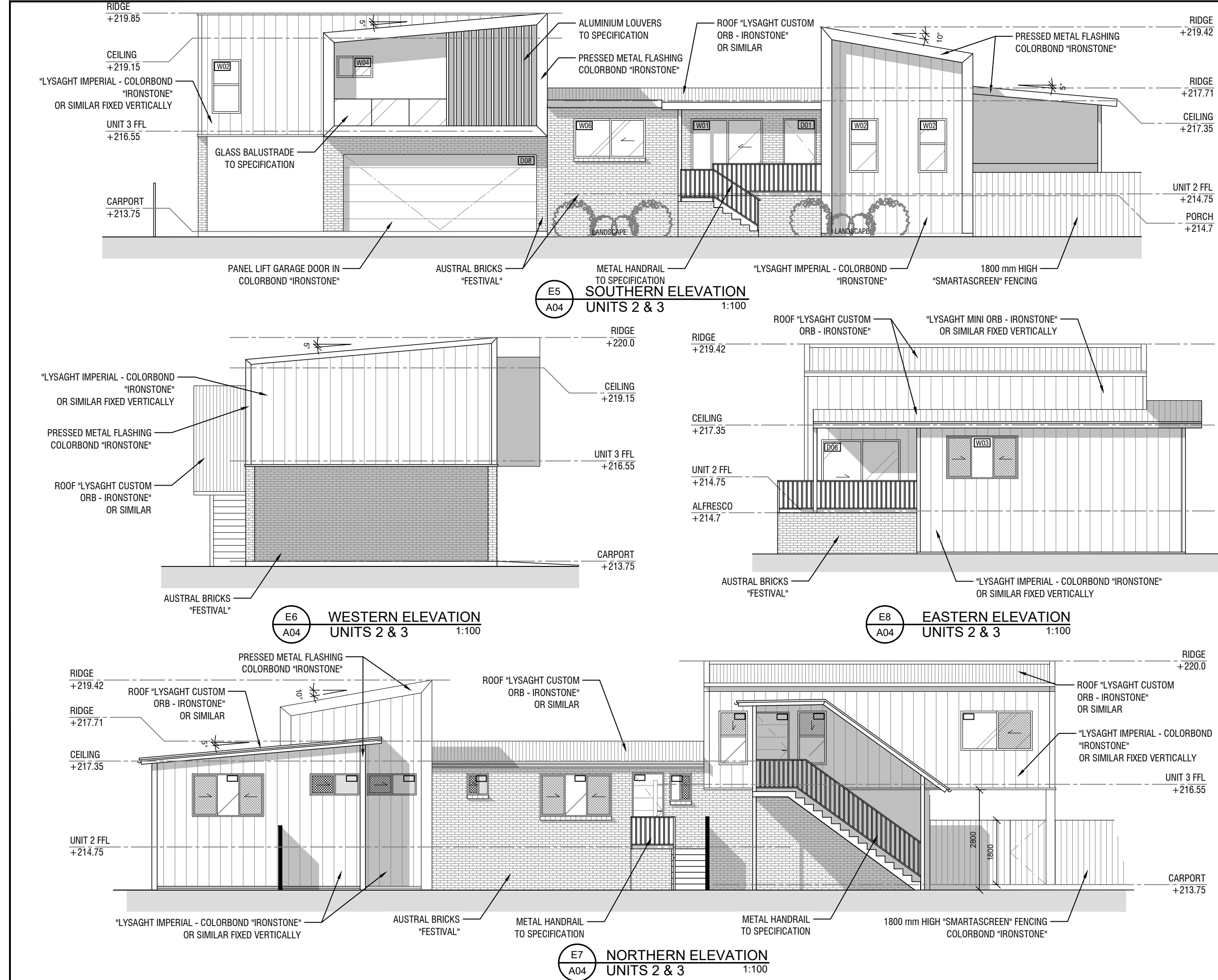
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SITE:	35E Nandewar Street Narrabri - NSW		
TITLE:	THA Capital Works UNIT 1 - ELEVATIONS		
SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:100	27/04/2021	VM	VM
PROJECT NO:	DRAWING NO:	REVISION:	
10042001	A06	B	




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A	ISSUED FOR CLIENT APPROVAL	VM	29/03/21
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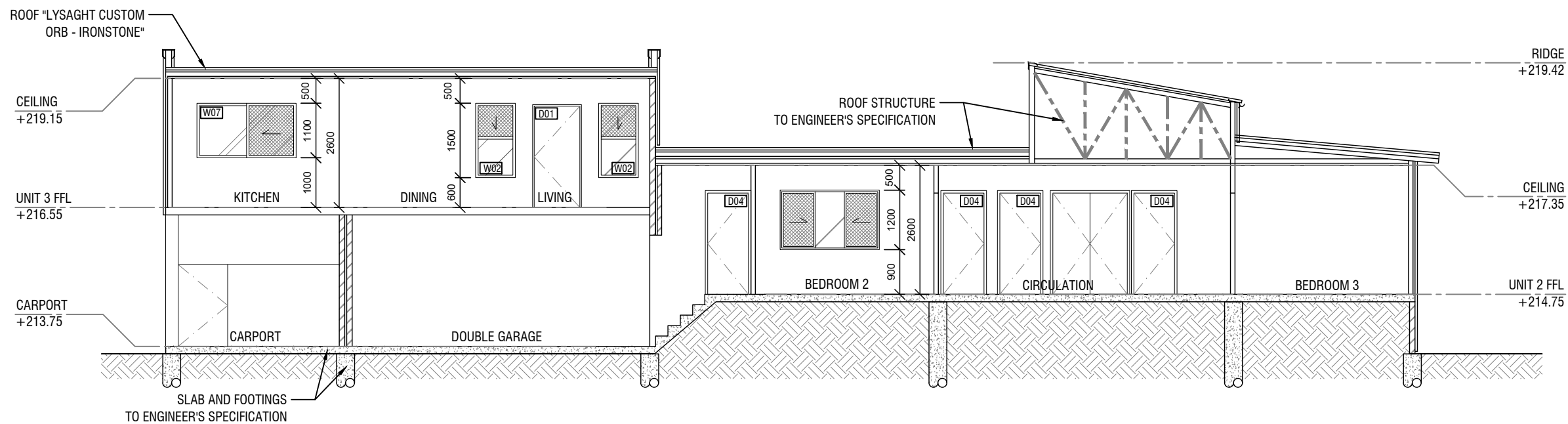
Drew Varnum
Executive Director
A division of the Department of Regional NSW

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Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000



Teacher
Housing

SITE: 35E Nandewar Street Narrabri - NSW			
TITLE: THA Capital Works UNITS 2 & 3 - ELEVATIONS			
SCALE AT A3: 1:100	DATE: 27/04/2021	DRAWN: VM	CHECKED: VM
PROJECT NO: 10042001	DRAWING NO: A07	REVISION: B	



S1
A04
TYPICAL SECTION
1:100

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Executive Director
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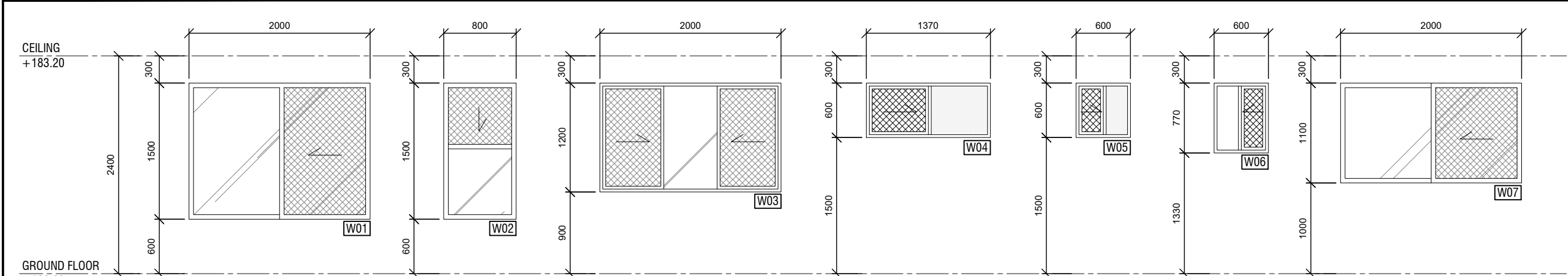
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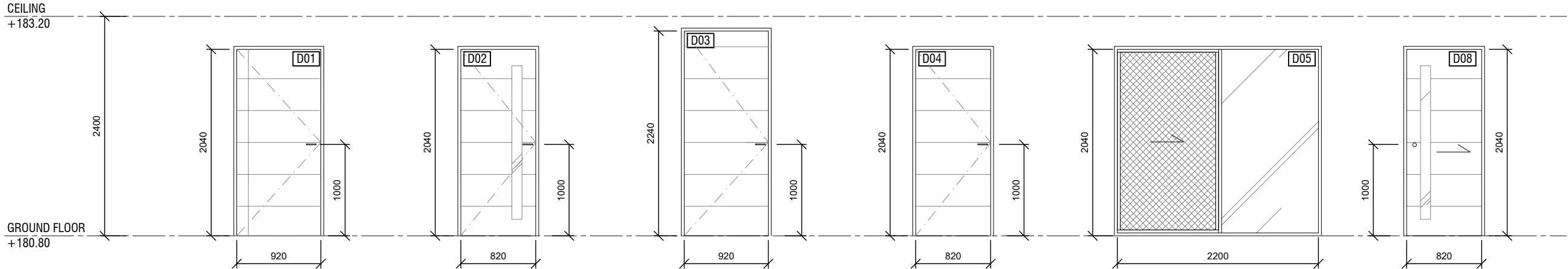
SITE: 35E Nandewar Street
Narrabri - NSW

TITLE: THA Capital Works
TYPICAL SECTION

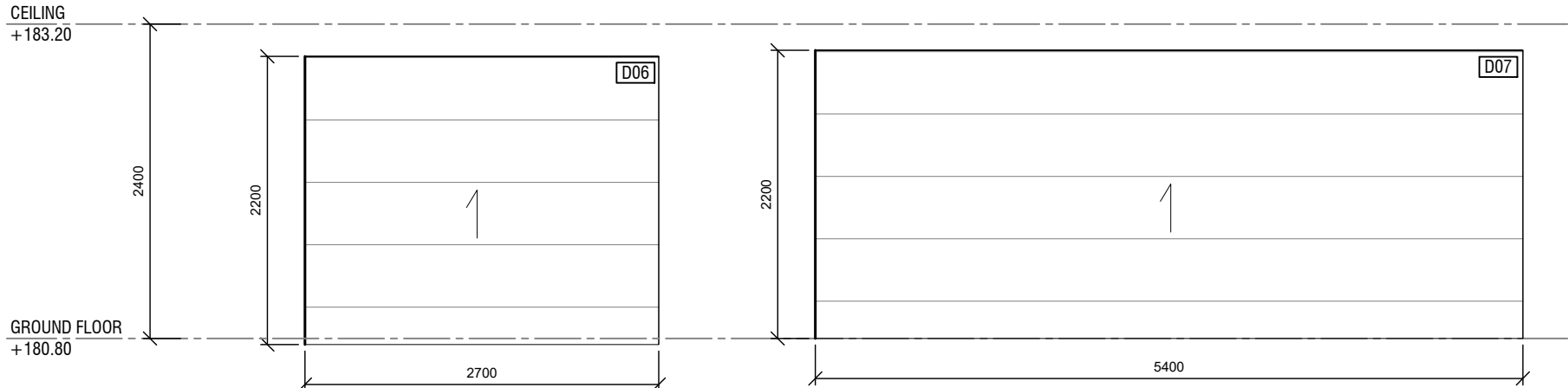
SCALE AT A3: 1:100	DATE: 27/04/2021	DRAWN: VM	CHECKED: VM
PROJECT NO: 10042001	DRAWING NO: A08	REVISION: B	



WINDOW NO.	W1	W2	W3	W4	W5	W6	W7
LOCATION	DINING ROOM	LIVING ROOM	BEDROOMS 1, 2 & 3	BATHROOM & ENSUITE	TOILET	LAUNDRY	KITCHEN
TYPE	ALUMINIUM FRAMED, SLIDING	ALUMINIUM FRAMED, SINGLE HUNG	ALUMINIUM FRAMED, SLIDING	ALUMINIUM FRAMED, SLIDING	ALUMINIUM FRAMED, SLIDING	ALUMINIUM FRAMED, SLIDING	ALUMINIUM FRAMED, SLIDING
	SINGLE GLAZED	SINGLE GLAZED	SINGLE GLAZED	SINGLE GLAZED - OBSCURED	SINGLE GLAZED - OBSCURED	SINGLE GLAZED	SINGLE GLAZED
SECURITY MESH	YES	YES	YES	YES	YES	YES	YES



DOOR NO.	D1	D2	D3	D4	D5	D8
LOCATION	MAIN ENTRY	LAUNDRY (EXTERNAL)	GARAGE	BEDROOMS, LAUNDRY, WC, BATHROOM, ENSUITE	LIVING ROOM	LAUNDRY
TYPE	SOLID CORE FIRE RESISTANT - BAL40	SOLID CORE - PAINT GRADE TEMPERED	SOLID CORE - PAINT GRADE TEMPERED	HOLLOW CORE - TEMPERED HARDBOARD	ALUMINIUM FRAMED, SLIDING DOOR	SOLID CORE - PAINT GRADE TEMPERED
	SWING DOOR - PAINTED "IRONSTONE"	HARDBOARD (DURACOTE). WEATHERPROOF	HARDBOARD (DURACOTE). WEATHERPROOF	(DURACOTE). FACE PAINTED	SINGLE GLAZED	HARDBOARD (DURACOTE). WEATHERPROOF
SECURITY MESH	NO	YES	NO	NO	YES	NO



DOOR NO.	D6	D7
LOCATION	SINGLE GARAGE	DOUBLE GARAGE
TYPE	B&D 'PANELIFT' 'SEVILLE' - FITTED WITH CONTROL-A-DOOR	B&D 'PANELIFT' 'SEVILLE' - FITTED WITH CONTROL-A-DOOR
	ADVANCE SWITCHING	ADVANCE SWITCHING
SECURITY MESH	N/A	N/A

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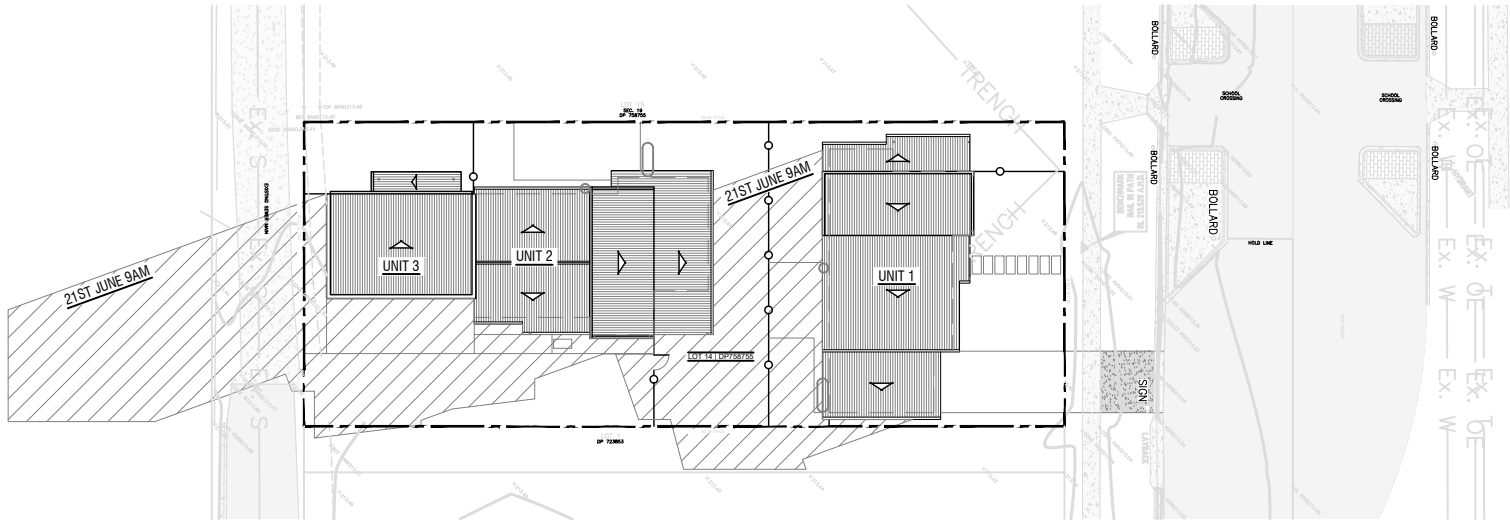
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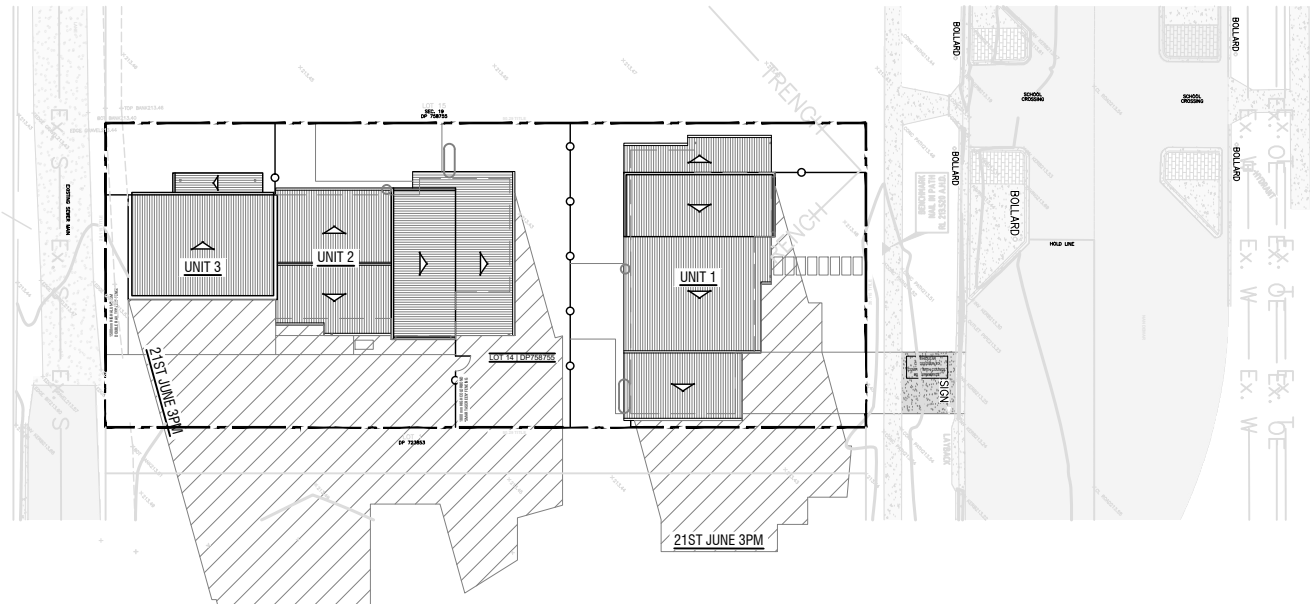
SITE:	35E Nandewar Street Narrabri - NSW		
TITLE:	THA Capital Works WINDOWS & DOORS SCHEDULE		
SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:100	27/04/2021	VM	VM
PROJECT NO:	DRAWING NO:	REVISION:	
10042001	A09	B	

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1
A10 SHADOW DIAGRAM
21ST JUNE 9AM 1:500



1
A10 SHADOW DIAGRAM
21ST JUNE 3PM 1:500

A	ISSUED FOR DA APPROVAL	VM	30/04/21
REV:	DESCRIPTION:	BY:	DATE:
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66 Harrington Street, The Rocks
Sydney - NSW 2000



Teacher
Housing

SITE: 35E Nandewar Street
Narrabri - NSW

TITLE: THA Capital Works
SHADOW DIAGRAM

SCALE AT A3: 1:100	DATE: 30/04/2021	DRAWN: VM	CHECKED: VM
PROJECT NO: 10042001	DRAWING NO: A10	REVISION: A	